



City of Savage
PARKS, RECREATION AND NATURAL RESOURCES
COMMISSION AGENDA
City Council Chambers
Tuesday, May 28th, 2024, 7:00 p.m.

Agenda

WELCOME to this meeting of the Savage Parks, Recreation and Natural Resources Commission (PRNRC).
The meeting will be conducted in the City Council Chambers.

The audio and video of the PRNRC meeting will be streamed live on the City website, enabling viewers at home to listen to the meeting.

1. Call to Order/Roll Call/Pledge of Allegiance
2. Approve Agenda
3. Approve Minutes from February 26th, 2024
4. New Business
 - A. Big Sky Sketch Plan
 - B. Recommend approval of plans and authorizing advertisement for bids for the new park on Hampshire Ave, City Project 21-54.
5. PW Director Update – verbal
6. Adjournment – Next Meeting: Monday, June 24, 2024

DISTRIBUTION

ELECTRONIC:

Full Packet – Email PDF: Commissioners (9); Brad Larson, Greg Boatman, Trent Jutting, Andy Weldon, Chris Dill, Jay Lair, Catie Levenick, Tammy Coyne, Jo Schmitt, Emily Gunderson (10); Island Media (2)

Agenda – Email MS Word: Ginny Cullen, Chris Collins, Lisa Crist, Anthony Miller, Lori Folie (5)

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Agenda Only: Public Copy – City Hall Bulletin Board (1)

SAVAGE PARKS, RECREATION AND NATURAL RESOURCES COMMISSION
MEETING MINUTES
Council Chambers
Monday, February 26, 2023 – 7:00 p.m.

1. CALL TO ORDER/ROLL CALL/PLEDGE OF ALLEGIANCE

Vice-chair Sorensen called the meeting to order at 7:00 p.m.

Members Present: Vice-chair Jackie Sorensen; Commissioners Heinemann, Peterson, Lund, Strayer; Sjogren, Shearer, Alternates; Mason and Chau

Members Absent: None

Staff Present: Greg Boatman, Public Works Director
Chris Dill, Recreation Services Manager

Others Present: Mitch Workman, Consultant from ISG
Amanda Thomas, Consultant from ISG

Commissioners and staff joined in on the Pledge of Allegiance.

2. AGENDA

Motion made by Strayer to approve the agenda, seconded by Peterson. Unanimously approved. Motion carries.

3. Oath of Office

Commissions Sjogren and Chau took the Oath of Office.

4. Nomination and Election of Chair and Vice-Chair

Chair Nominations: Sorenson and Peterson – Election Chair: Sorenson elected as Chair
Vice Chair Nominations: Peterson, Heinemann, Mason- Election Vice Chair: Heinemann

5. MINUTES

A. PRNRC – November 27, 2023

Motion made by Strayer to approve the November 27, 2023 minutes, seconded by Heinemann. Unanimously approved. Motion carries.

4. BUSINESS

A. Update on replacement of artificial turf at the Savage Sports Center

• **Memo 4A**

Dill gave a presentation on the background existing turf. Workman gave an overview of the grading and drainage plan, as well as the turf replacement plan. The preliminary budget for this project is \$1,200,000 of which \$500,000 will come from the City of Savage's Community Investment fund, \$100,000 will come from the Stormwater fund and the other \$600,000 will come from a State Bonding Grant.

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Strayer asked how turf material is selected. Workman stated that specifications will be developed based on the use. Strayer asked if the turf had to be installed prior to the Dome being inflated. Dill stated that the majority of the installation will be finished prior to Dome inflation, which is scheduled to be October 11, 2024.

Peterson asked if the drainage is better if the turf will last longer. Workman stated that drainage will maximize the life of the turf, depending on the use and maintenance performed. Peterson asked if the batting cages will be necessary in the Sports Center since a new batting type facility has recently opened in the city. Dill stated the cages are heavily used and the new facility will not have an impact as the current use necessitates batting cages.

Lund asked if the original subsurface was built to specifications. Workman stated that the original documentation reviewed was not clear, but core samples indicate that the existing conditions are not sufficient to meet the drainage needs. Lund asked about the original grading plan and if the current issues are a result of lack of planning or a condition that was created over time. Workman stated that the grading plan would not have changed over time. Lund asked if there is a significant cost increase to this project to correct the original conditions. Workman stated there is a significant cost impact of grading the site versus replacement of the turf. Boatman stated that budgetary plan to replace the turf surface is on target, however the increase budgetary needs are due to grading and drainage issues that were observed over the life of the existing turf.

Heinemann asked if the project construction and new drainage plan for the turf will have an impact on the existing fields surrounding the turf. Thomas stated that the turf drainage pipes are adequate for the new grading plan will not have an impact on the surrounding areas.

Mason asked if the remaining life of the dome shell will last through the turf life expectancy. Boatman stated that the shell is planned to be replaced in 2031, and the turf is expected to last at least through 2034. A discussion is needed to determine whether or not the City will replace the shell.

B. Receive an update on the Nature Play Area at Hidden Valley Park.

- **Memo 6B**

Dill provided an update on the new Nature Play Area at Hidden Valley Park and showed pictures of the area that has been completed to date. Additional signage will be added in the Spring.

Sorenson stated that her family has already used the area and is impressed by the space, believes it is a great addition to the park.

C. Discuss values and attributes for the Police Chief recruitment and appoint a member to the community interview panel on March 7, 2024.

- Memo 6C

Boatman provided background information regarding the Police Chief recruitment process. The Commission was asked to provide 2-3 questions to be asked of the candidates, the values and attributes the Commission would like to see in the next Police Chief, and a volunteer to serve on the interview panel.

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A list of questions, values and attributes was compiled. Commission Sjogren volunteered to serve on the panel.

D. PW DIRECTOR UPDATE – Boatman

- Lots of park use due to warm weather.
- EAB Management- due to warm weather, the plan for tree removal was accelerated.
- 2024 Projects Update: “Hampshire” Park, Community Park West Parking Lot to begin July 22, Park Funding of the Master Plan Prioritization.

6. ADJOURNMENT

Meeting adjourned at 8:05p.m.

Respectfully submitted by Greg Boatman, PW/Parks & Recreation Director



Meeting Date: May 28, 2024
Agenda Item Number: 4A
Originating Department: Planning
Prepared by: Angie Perera, Senior Planner

Public Hearing: []
Consent Item: []
General Business: []

Action Requested:

Review and consider sketch plan application for future phasing of Big Sky Estates residential development and provide non-binding feedback, Project 24-13.

Guiding Principle:

"Savage will foster a pride of place that capitalizes on the unique qualities and history of our community."

Background:

The City of Savage has received a sketch plan application including future phases and build out of the Big Sky Estates residential development. The subject property is within the southwestern boundary within the City of Savage and is located north of County Road 44 (160th Street) and west of County Road 27 (Dakota Avenue). The area is known as Prior Lake Aggregate (PLA), an active gravel mine and is transitioning overtime to development including single family homes. . The general area is roughly bound by Cates Lake and Park to the north, Prior Lake High School to the northeast, County Road 44 to the south, and the City of Savage boundary to the west.

Prior to a formal submittal of a subdivision, site or building design review, the City Code allows for an applicant to apply for a sketch plan for discussion, review and informal comment by the Planning Commission and City Council. A condition of approval for the 3rd addition final plat required an application for sketch plan review to be submitted before or with an application for the 4th addition which reflects the previously approved phases and identifies possible future road connections, stormwater management, park space, and trail connections. Therefore, the sketch plan is also being reviewed by the Parks Recreation and Natural Resources Commission as an additional advisory body. The May 23, 2024 Planning Commission memo and attachments have been included for reference.

City of Savage Comprehensive Plan & Parks Master Plan

The 2040 City of Savage Comprehensive Plan previously designated a 'Park Search Area 4' within the Big Sky development area with the intent of a future Neighborhood/School Park, although the City of Savage Parks Master Plan has been more recently adopted and provides more accurate and current plans for future parks and trails within the City.

Future Park

According to the City of Savage Parks Master Plan, the Big Sky development area has been included within 'Park Search Area 1' for the southwest section of the city. The intent of the Big Sky development search area is to provide a 'Destination Park' in a developing portion of the city that is underserved by the current park

system. A combination of park land dedication and park fees is anticipated for the site. Development of the future park is anticipated to occur during a future phase and timing is currently unknown.

Destination Parks serve several adjoining neighborhoods, attracting residents from a relatively large area. They should include active programmed recreation areas and passive recreation activities, preserve unique landscapes, open spaces, historical and cultural features, allow for group activities, accommodate community events, and offer recreation opportunities not feasible or desirable at the Neighborhood Park level. Destination Parks may also include revenue-producing facilities, recreation or community centers, or other recreation facilities. They should include a permanent and accessible public restroom.

Potential recreation and facilities intended for the Big Sky Destination Park include park shelter, playground, off-street parking, basketball court, multi-use rectangular fields, volleyball court, community building, looped and connected trails to the high school property, and destination water feature. The 2040 Comprehensive Plan includes stormwater ponds as potential park amenity features.

According to the Parks Master Plan, a Destination Park is intended to be 15-100 acres in size and to provide a community-wide service area with an anticipated visit time of 1-5 hours. Destination Parks should be accessible by way of the city's trail network, low stress bicycle network, sidewalks, and major streets. Since they serve residents from longer distances, Destination Parks should also have on-site parking. The 2040 Comprehensive Plan previously planned for a Neighborhood/School Park within the Big Sky development area that was previously intended to be only 4-10 acres in size and to include similar recreation and facilities as the now Destination Park, as recently classified in 2023 by the Parks Master Plan.

The new park should be well connected to the city trail network and centrally located within the proposed Big Sky development. However, current plans for the park do not meet destination park classification requirements. Currently, the proposed development plans propose an 11-acre park on the southwest side of the development with the intent to include wooded trails, and 10.7 acres to the southwest for park land and a parking lot for the park. However, these sections of park space are not fully usable as the wooded trail land is located on a highly sloped hillside and is not large enough for a significant trail network. For the southern park, approximately only 5 acres are usable due to a storm water pond, which cannot be utilized. The proposed sketch plan includes conceptual contours, although based on this information is unclear if the proposed park area would be usable or not and if so, it is also unclear what the estimate size/area of usable space would be.

The sketch plan also proposes to potentially include tree mitigation areas within the proposed future park areas. Access to the park is assumed to occur through the Big Sky neighborhood and/or possibly through a potential future connection on the southwest portion of the site from County Road 44.

Future Trails

The Parks Master Plan and 2040 Comprehensive Plan also both identify a future trail running north and south through the middle of the Big Sky neighborhood with the intent to connect to existing neighborhoods both to the north and south of the site. The connection to the north would be to the West Summit Oaks neighborhood (south of Cates Lake), with a connection to 154th Street, and a connection south of the site to an existing neighborhood located within the City of Credit River (south of County Road 44/160th Street).

The Parks Master Plan and the 2040 Comprehensive Plan also both identify future trail connections intended along the western portion of the Big Sky development area extending from Community Drive (at the southwest portion of the site) running north/south up to Lake Drive/Hwy 13 (at the northwest portion of the site) and other future trail extensions from within the central portion of the site and extending to the northeastern portion of the site connecting both the Hamilton Ridge Elementary School and the existing residential neighborhoods to the Big Sky development.

The sketch plan for the Big Sky development does not currently illustrate future trails or trail connections. Proposed trails and connections should be included on the sketch plan and on plats for future additions. The Big Sky development area includes an existing trail on the north side of 157th Street (on the north side of the site), and an existing trail on the north side of 160th Street East (on the south side of the site) and sidewalks primarily on one side of the street through phases 1-3. Existing sidewalks include those along the south side of 157th Street, the west side of Wyoming Avenue, Utah Avenue, and the north sides of 157th Terrace, 158th Street, and 159th Street.

Budget Information/Fiscal Impact:

None.

Alternatives:

1. Provide non-binding review comments that can be forwarded to the Planning Commission and to the City Council for consideration.
2. Provide modified and/or additional non-binding review comments that can be forwarded to the Planning Commission and to the City Council for consideration.
3. Defer action on the request for sketch plan and require modifications and/or additional information.

Action/Recommendation:

The Parks, Recreation, & Natural Resource Commission's role is to provide non-binding review of the proposal to ensure compliance with the City of Savage's adopted Parks Master Plan, and general design standards, and to identify possible modifications necessary to secure future approval for anticipated platting of future phases. Staff is seeking general feedback related to the proposed park including the proposed access, location, size, usability, the parking lot, potential recreation and facilities, and also feedback pertaining to future trails and connections both within and outside of the Big Sky development, in addition to any other feedback and comments the Commission would like to share about the Parks Master Plan as it relates to the proposed sketch plan.

The sketch plan application will also be reviewed by the Planning Commission on May 23, 2024, and by the City Council on June 17, 2024, for additional non-binding review and feedback. Feedback from the Planning Commission will be shared as a verbal update at the PRNRC meeting.

Staff is seeking feedback on this proposal in the form of a formal, uniform action; however, this action is advisory in nature and is non-binding. The formality is simply a means of communication from the Parks, Recreation, & Natural Resource Commission to the City Council. The feedback provided in this action will be forwarded to the City Council at its meeting on June 17, 2024.



Meeting Date: May 23, 2024
Agenda Item Number: 5A
Originating Department: Planning
Prepared by: Angie Perera, Senior Planner

Public Hearing:

Action Requested:

Review and consider sketch plan application for future phasing of Big Sky Estates residential development and provide non-binding feedback, Project 24-13.

Guiding Principle:

"Savage will facilitate thoughtfully planned, balanced, and diverse development."

Sketch Plan Application Review:

The City of Savage has received a sketch plan application including future phases and build out of the Big Sky Estates residential development. The subject property is within the southwestern boundary within the City of Savage and is located north of County Road 44 (160th Street) and west of County Road 27 (Dakota Avenue).

Prior to a formal submittal of a subdivision, site or building design review, the City Code allows for an applicant to apply for a sketch plan for discussion, review and informal comment by the Planning Commission and City Council. A condition of approval for the 3rd addition final plat required an application for sketch plan review to be submitted before or with an application for the 4th addition which reflects the previously approved phases and identifies possible future road connections, stormwater management, park space, and trail connections.

2040 Comprehensive Plan/Future Land Use

The site is guided as Low and Medium Density by the 2040 Comprehensive Plan. The west portion of the site is guided Low Density which includes 2-6 dwelling units per acre while the east portion of the site is guided as Medium Density, which includes a density range of 7 to 12 dwelling units per acre. Since the Comprehensive Plan guides a portion of the site as Medium Density, there is an opportunity for policy discussion about whether the city would like to explore the consideration of other housing types for this site with increased density versus traditional single-family homes as have been platted and as are included with this current sketch plan.

The surrounding area is guided low density to the north, and a mixture of low, medium, and mixed density and institutional to the east. The City of Prior Lake is located west of the site. The City of Credit River is located south of the site and includes both developed residential properties and undeveloped properties. Undeveloped properties immediately south of the site

are being mined by Prior Lake Aggregate (PLA) and the timeline for potential future development of the properties is currently unknown.

Zoning

The site is zoned R-1, Low Density Residential on the west portion of the site, while the east portion of the site is zoned PRD, Planned Residential District. The area to the west is the City of Prior Lake and includes an existing school and developed residential properties. Property east of the site is zoned PRD and P-2, Public Buildings District and includes the existing Hamilton Ridge Elementary School. The City of Credit River is located immediately south of the site and includes both developed residential uses and existing mining operations and undeveloped land.

Background & Sketch Plan Proposal

The site has historically been mined by PLA over the years and has developed with single-family residential lots. The original overall mining site included approximately 250 acres of land. Three residential development phases have previously been approved for approximately 90 acres of the site with roughly 150 acres of mined land to be developed through future phases and additions.

Phases 1 & 2 included 136 units, and the most recent 3rd addition is currently under construction and includes 35 units. Future Phases 4-10 anticipate the platting of 289 additional units.

Big Sky Estates phases/additions	Number of units	Acreage
Phase 4	33	16.5
Phase 5 a	45	24.85 acres
Phase 5 b	34	16.5 acres
Phase 6	23	13.5 acres
Phase 7	34	16.3 acres
Phase 8	47	30.5 acres
Phase 9	16	5.2 acres
Phase 10	57	29.1 acres

The first phase of Big Sky Estates was developed by CLC Development, Inc. Keyland Homes, Inc., developed the 2nd and 3rd additions. Keyland Homes, Inc. has recently met with city staff and plans on applying for the 4th addition in the near future with expressed interest to potentially plat additional future phases.

Big Sky Estates Phases 1-3 included approved architectural requirements for the residential subdivisions based on standards that have been successfully utilized in earlier planned unit development approvals. Similar home design character, layout, and requirements are anticipated for future additions as they are platted. Streets and utilities will continue to be extended to serve the site.

Parks & Trails:

During the platting process for the 3rd addition, the City Council expressed interest in parks and trails and their proposed location within the development.

The sketch plan will be reviewed by the Parks, Recreation, & Natural Resources Commission (PRNRC) at its meeting on May 28, 2024. The PRNRC will be asked to review and provide non-binding comments to the City Council on future park and trail needs related to the continuation of the proposed, phased residential development.

A park search area for the central/western portion of the gravel mining area has been identified in the City's 2030 Comprehensive Plan and in the City's Parks Master Plan that was recently adopted. A combination of park land dedication and park fees is anticipated for the site. Park dedication requirements will primarily be satisfied by fee payment, as recommended by the PRNRC for earlier phases that have been approved and developed for Phases 1-3. Staff has previously communicated that park dedication of up to 10 acres will be required as part of future subsequent phases and staff will continue to evaluate this through future phases and as platting occurs.

Previous discussions pertaining to a future park included the desire for a park to be placed within a central location within the Big Sky Estates development. The sketch plan proposes a future park in the southwest portion of the site. The proposed sketch plan also includes conceptual contours, although based on this information it is unclear if the proposed park area would actually be usable or not. The future park should be a usable and meaningful space and be consistent with the Park Master Plan. Development of the future park is anticipated to occur during a future phase and timing is currently unknown. Proposed trails and connections should be included on the sketch plan and on plats for future additions. Staff will be seeking further input from the PRNRC regarding the park and trail locations and connections.

Tree mitigation/replacement:

During the platting process for the 3rd addition, the City Council also expressed issues and concerns related to South Savage Nine (SS-9) tree mitigation/replacement as required for Big Sky Estates.

Prior Lake Aggregates is responsible for mitigation/replacement of South Savage Nine (SS-9) trees that were previously removed from the Prior Lake High School site when it was developed, as part of an agreement with the City of Savage, PLA, and ISD 719. The Big Sky Estates developments are required to include tree mitigation/replacement for the SS-9 trees that were previously removed from the Prior Lake High School site in addition to the minimum two landscape trees per lot required for residential development.

In 2020, staff analysis included 539 planted trees were assumed to have been installed through completion of phases 1 & 2, with another assumed 620 trees remaining for SS-9 tree mitigation/replacement to occur throughout future phases. Staff is recommending that the applicant be required to update their landscape plan for future phases with or before the 4th Addition final plat to include 2 landscape trees per lot (the 2 builder trees required) as well as 1 SS-9 mitigation tree per lot and if there is not enough room to accommodate 2-3 trees total on each lot, then the applicant should discuss alternative options with staff.

Staff is also recommending the applicant provide a tree inventory for Phase 1, 2, & 3, so that staff can determine how much SS-9 tree mitigation/replacement is remaining. In addition, staff

also recommends requiring the applicant to submit a security for all remaining SS-9 tree mitigation/replacement as previously required. Any remaining security held by the City for the SS-9 tree mitigation/replacement that cannot be completed through complete build out and future phases of the Big Sky Estates development could be held as cash in lieu of the required mitigation/replacement as an alternative option.

Development Review Committee Comments

Because this is not a formal development application a full technical review has not been completed. The Development Review Committee does offer the comments in the attached review letter dated 05/16/24 for consideration should this project progress to a formal application.

Attachments:

1. City of Savage Development Review Committee Comment Letter dated 05/16/24
2. Resolution R-22-034
3. Assignment & Assumption Agreement dated 06/18/12 (agreement between City of Savage, ISD 719, and PLA)
4. Prior Lake Spring Lake Watershed District Review Comment Letter dated 04/01/24
5. Applicant's Narrative
6. Big Sky Addition Sketch Plan Draft, dated May 2024
7. Big Sky Master Plan Grades, dated April 2024

Options/Alternatives:

1. Provide non-binding review comments that can be forwarded to the Parks, Recreation, & Natural Resources Commission and to the City Council for consideration and to advise the applicant to work with city staff to address remaining comments through the platting process as included within this memo and attachments.
2. Provide modified and/or additional non-binding review comments that can be forwarded to the Parks, Recreation, & Natural Resources Commission and to the City Council for consideration.
3. Defer action on the request for sketch plan and require modifications and/or additional information.

Action/Recommendation:

The Planning Commission's role is to provide non-binding review of the proposal to ensure compliance with general design standards and to identify possible modifications necessary to secure future approval for anticipated platting of future phases. The sketch plan application will also be reviewed by the Parks, Recreation, & Natural Resources Commission, and by the City Council for additional non-binding review and feedback.

Staff is seeking feedback on this proposal in the form of a formal, uniform action; however, this action is advisory in nature and is non-binding. The formality is simply a means of communication from the Planning Commission to the City Council. The feedback provided in this action will be forwarded to the Parks, Recreation, & Natural Resources Commission at its meeting on May 28, 2024, and to the City Council at its meeting on June 17, 2024.



May 16, 2024

PLA Inc.
Attn: Candice Pearson
P.O. Box 309
Prior Lake, MN 55372

SENT VIA EMAIL

RE: Project # 24-13 Sketch Plan Application - Big Sky Estates

Dear Ms. Pearson,

This letter is a review comment letter for the Big Sky Estates Sketch Plan application. As previously noted, a formal Sketch Plan review process must be completed before or with an application for Big Sky Estates Fourth Addition as required by Resolution No. R-22-34 (dated 04/18/22).

Staff recommends that the following comments be incorporated into the design of a revised Sketch Plan or during the platting process for future phases to address outstanding comments and concerns.

General Comments:

1. A current abstract of title, registered property abstract, or title insurance policy should be submitted to the City with any future platting application for the property.
2. An Alternative Urban Areawide Review (AUAR) was completed in 2007. AUAR's are required to be updated every 5 years. The city has no record of an update to the AUAR. An AUAR is required to be updated and shall be required to meet the MN Environmental Quality Board requirements. An updated AUAR should be completed and submitted prior to Phase 5.
3. The City of Savage Comprehensive Plan guides a portion of the site as Medium Density, there is an opportunity for policy discussion with the City Council about whether the city would like to explore the consideration of other housing types for this site with increased density versus traditional single-family homes as have been platted within the PUD and as are included with this current Sketch Plan. Staff will be including this topic within staff reports to the Commissions and City Council and seeking their comments pertaining to this.
4. Platting should consider the entire site (e.g., all undeveloped areas should be placed in an outlet (or multiple outlets) during the next PUD Amendment).
5. Work with staff regarding proposed street names to ensure they conform with city addressing policy.

6. The formal sketch plan review process will require review by the Parks, Recreation, & Natural Resources Committee, the Planning Commission, and the City Council for feedback.

Park Comments:

Previous concerns with the proposed Sketch Plan was the desire for the community park to be centrally located within the development, and also concerns about the usability of the proposed park areas due to steep slopes, wetlands, and other conditions. While the proposed park location is not centrally located, the proposed location may be acceptable. Proposed draft contours have been submitted to the City for review although it is still difficult to determine whether the proposed park location will be suitable and usable. The site should be evaluated further to determine if future topography and grading conditions will provide a suitable and usable space for a park. A future park must be consistent with the approved Parks Master Plan.

7. Provide proposed total park acreage and total usable acreage not including wetlands, steep slopes, drainage areas, flood plain areas, pond areas, etc. For instance, the wetlands in the 11-acre park with the associated buffers should also be shown.
8. Provide spot elevations for proposed park areas.
9. Show proposed trails and sidewalks on the plan or note that trails and sidewalks will be provided on all streets.
10. Show proposed lot lines extending to property boundaries for all areas not proposed for parks.

Engineering (General & Storm Water) Comments:

11. The Sketch Plan has been shared with Scott County for review and they may require additional information to ensure spacing requirements for access are met.
12. The plan appears to be proposing steep slopes that are 3:1 or greater with these adjacent to future homes. These areas once established should be protected in a conservation easement and a slope stability analysis should be completed.
13. The evaluation of the connect to Country Drive shows steep slopes that would make construction a challenge, please remove this connection from the sketch plan and only show utilities extension.
14. City staff have received inquiries regarding the proposed connection to 154th Street. There should be a "Future Road Connection" sign on the property to help inform the public. This item was missed when the connection was previously proposed and roadway easement was dedicated.
15. An updated wetland boundary and replacement plan was reviewed and approved on 1/9/24. The Sketch Plan shall include all wetlands and associated wetland buffers. This includes the wetlands within future park areas. The wetlands on the plan that will be impacted and replaced for as a part of the mining operation should also be shown but can be noted as such.
16. All areas with the shoreland overlay district will be subject to the requirements of the City of Savage's shoreland overlay district standards.
17. As additional phases are developed the City will continue to review and comment on the stormwater management plan. The plan will need to continue to provide an outlet for Cate's Lake.

Tree/Natural Resources Comments:

18. Remaining South Savage Nine (SS-9) tree mitigation/replacement is still required.
19. Provide a current inventory of trees planted/proposed for phase 3 to determine remaining mitigation/replacement tree requirements for remaining phases.
20. Provide updated landscape plans prepared by a licensed landscape architect with correct tree species and locations for phases 1, 2 & 3.
21. For the landscaping requirement of City Code include the designation and location for 2 trees per platted lot on the proposed landscape plans (minimum requirement of 1 of the 2 trees to be deciduous). In addition, the proposed landscape plans should also include the designation and location for additional SS-9 mitigation/replacement trees that will be included on each platted lot. If it is determined not to be feasible to include the SS-9 mitigation/replacement trees on certain lots due to lot size, other areas in the development can be discussed and reviewed with city staff. No planting in the right-of-way will be allowed.
22. A security shall be required for all remaining SS-9 mitigation/replacement trees as previously required and prior to any future final plat approval.
23. All remaining SS-9 mitigation/replacement tree requirements not met shall be subject to cash payment in lieu of.

If you have questions or need additional information, you may contact me at aperera@cityofsavage.com or 952-882-2698.

Sincerely,



Angie Perera
Senior Planner

Electronic Copy: Mike Kettler, Sundee Engineering PLLC
Planning Project folder 24-13

RESOLUTION NO. R-22-034

**RESOLUTION TO APPROVE FINAL PLAT
FOR BIG SKY ESTATES 3RD ADDITION
PROJECT 21-62**

WHEREAS, the applicant, Key Land Development, LLC, with consent from property owner PLA, Inc., has applied for approval of a final plat for Big Sky Estates 3rd Addition, on property located at 157th Street and Aquila Avenue, legally described as:

Outlot B, Big Sky Estates 2nd Addition and
Outlots C and E, Big Sky Estates, Scott County, Minnesota

WHEREAS, the City Council approved Ordinance No. 847 amending the Planned Unit Development Plan for the property on February 7, 2022; and

WHEREAS, the proposed 3rd Addition contains 35 lots and 2 outlots; and

WHEREAS, the proposed subdivision is consistent with the approved preliminary plan and is designed to facilitate future phase development to the west; and

WHEREAS, lot sizes will be from 9,460 square feet up and lot widths a minimum of 69 feet and minimum building setbacks shall include 25-foot front, corner side, and rear with side yard setbacks of 7.5 feet; and

WHEREAS, impervious surface maximum for all lots in the 3rd Addition shall be 38%; and

WHEREAS, all homes within the development will be subject to previously approved architectural design standards as detailed in the conditions below; and

WHEREAS, the Final Plat has been reviewed by the Development Review Committee, by the Planning Commission during their meeting on March 24, 2022 and by the City Council during the regular meeting of April 18, 2022.

NOW THEREFORE, BE IT RESOLVED that the recitals set forth above are incorporated herein; and

NOW THEREFORE, BE IT RESOLVED that the Mayor and Council of the City of Savage, Scott County, Minnesota, hereby approve the Final Plat for Big Sky Estates 3rd Addition, subject to the following conditions:

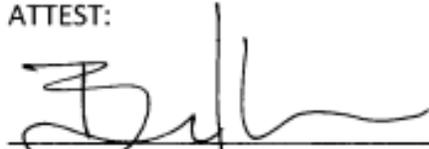
1. The applicant shall pay all development fees and enter into a Developer's Agreement with the city for the construction of public improvements, and submit all fees and securities, prior to filing the final plat.

2. Plat approval is subject to Engineering Department review and approval of all grading, utility, street, landscape, lighting, and stormwater plans for the project and compliance with the review comment letter dated March 18, 2022.
3. Plat approval is subject to compliance with Prior Lake Spring Lake Watershed District comment memo dated March 14, 2022.
4. The Developer's Agreement, final plat, and required agreements and easements shall be recorded prior to issuance of any building permits.
5. Construction of all trails and sidewalks as shown on the plans will be the responsibility of the developer.
6. A temporary cul-de-sac shall be installed at the end of all stub streets which complies with MN State Fire Code.
7. Landscaping and mitigation plantings shall be installed in accordance with approved plans.
8. Park dedication requirements shall be satisfied by fee payment, as recommended by the Parks, Recreation and Natural Resources Committee for previous phases and the Master Park Plan and Chapter 6: Parks, Trails, and Open Space of the Comprehensive Plan which identifies an 8–10-acre neighborhood park to be centrally located in Park Search Area 4 (PSA 4). Park dedication of up to ten acres will be required as part of subsequent phases, with a location central to the entire development. Fees collected will be utilized for the development of the amenities in the future neighborhood park.
9. All agreements shall be executed, and all necessary easements shall be dedicated as required by the Engineering Department and approved by the City Attorney, including, but not limited to retaining walls, temporary cul-de-sacs, trails, stormwater ponding and access areas, utilities, drainage areas that flow across multiple properties and conservation easement(s) as required by the City of Savage and/or Prior Lake Spring Lake Watershed District prior to filing the final plat.
10. Minimum building setbacks shall be 25-foot front, rear, and corner side yards and 7.5 feet for side yards.
11. The maximum impervious surface percentage for each lot in Phase III shall be 38% of the lot area.
12. All homes shall meet the minimum architectural standards as originally approved with Big Sky Estates and the 2nd Addition.
13. An application for sketch plan review shall be submitted before or with an application for the 4th Addition which reflects the previously approved phases and identifies possible future road connections, stormwater management, park space, and trail connections.

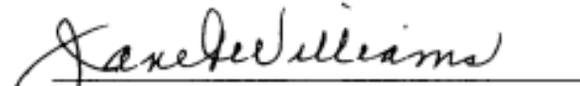
14. All development shall adhere to the approved plans. Any modifications to the approved plans shall be brought back to the City for further consideration and approval.

Adopted by the Mayor and Council of the City of Savage, Scott County, Minnesota, this 18th day of April 2022.

ATTEST:



Brad Larson, City Administrator



Janet Williams, Mayor

ASSIGNMENT AND ASSUMPTION AGREEMENT

This Agreement is made and entered into this 18th day of June, 2012 by and between the City of Savage ("City"), Independent School District No. 719 ("Developer/Assignor"), and PLA Development, Inc. ("Assignee").

WITNESSETH THAT:

WHEREAS, the City and Developer/Assignor executed a Development Agreement dated December, 2001 to govern development of the high school project and property.

WHEREAS, the City and Developer/Assignor executed an Amendment to the Development Agreement, (hereinafter "Amendment") which Amendment is dated June 4, 2012, and which Amendment provides for the construction of recreational fields and the extension of 154th Street via South Bend Road, all as is more fully described in the Amendment.

WHEREAS, Developer/Assignor wishes to assign all the rights and obligations in the Amendment to Assignee, and the City has agreed to said assignment.

WHEREAS, the terms defined in the Amendment shall have the same meaning in this Assignment and Assumption Agreement.

NOW, THEREFORE, in consideration of the premises and of the mutual promises and conditions hereinafter contained, it is hereby agreed as follows:

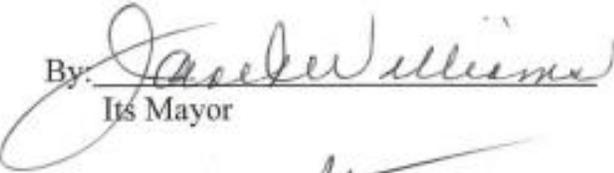
1. City consents to the assignment of the Amendment, and the rights and obligations thereunder, to PLA Development, Inc.

2. City releases the Developer/Assignor from responsibility for undertaking the improvements described in the Amendment including implementation of the Replacement Plan. Assignee acknowledges that a condition of the Development Agreement for the PLA Property shall be City Council approval of the Replacement Plan and tendering to City of security deemed adequate by the City Council for completion of the Replacement Plan. A mortgage granted by PLA to City as a first lien on the Mortgaged Parcel to secure the tree replacement contemplated under the Replacement Plan shall be deemed adequate security if approved as to form and substance by the City Attorney. If the Mortgaged Parcel is developed in phases, the mortgage will be released from a particular development phase of the PLA Property upon the substitution of security for tree replacement in that particular phase by PLA or completion of the tree replacement in that particular phase. The mortgage shall be released in its entirety upon the earlier of (i) replacement security in an amount approved by the City Council is tendered to City to secure performance of the Replacement Plan for all portions of the PLA Property on which tree replacement has not occurred or (ii) when the Replacement Plan is fully performed for all of the PLA Property.

3. Assignee accepts the assignment of the rights, duties and obligation of Developer/Assignor under the referenced Amendment.

4. Developer/Assignor and Assignee have executed the Exhibit A License Agreement, through which Assignee shall undertake the work described in the Amendment.

CITY OF SAVAGE

By: 
Its Mayor

By: 
Its City Administrator

PLA DEVELOPMENT, INC.

By: 
Its CEO

INDEPENDENT SCHOOL DISTRICT 719

By: 
Its Board Chair

By: 
Its Superintendent

RRM: #160831/cg
MMB: 4815-7816-1167, v. 2

Exhibit A

AGREEMENT

This Agreement is made effective as of the 11th day of April, 2011, by and between:

PLA Development LLC, a Minnesota limited liability corporation, and Prior Lake Aggregates, Inc., a Minnesota corporation (hereinafter collective refer to as "PLA")

and

Independent School District No. 719 ("ISD").

WHEREAS, PLA and ISD both own property in the City of Savage ("City") which properties abut each other, and which are generally shown on the attached Exhibit A;

WHEREAS, ISD and City entered into a Development Agreement dated December 2001, which allowed ISD to build a high school on its property, which includes a wooded area referred to in City's Forest Management Plan as SS9;

WHEREAS, ISD has had to spend money removing diseased trees from SS9, will have to spend more money maintaining SS9, and is deprived of the full opportunity to utilize the area of SS9 for school and community purposes because of the requirement to preserve the trees;

WHEREAS, if the work described in paragraph four below (the "Work") is not undertaken, a City road will be constructed that includes extensive and high retaining walls, presenting cost and safety issues to ISD.

WHEREAS, both City and ISD believe ISD can better utilize its property and save much needed money by doing the Work; and

WHEREAS, completion of the Work includes an access road that could be utilized by PLA to facilitate development of its property;

WHEREAS, PLA is willing to undertake the Work at no cost to ISD.

NOW, THEREFORE, in consideration of the foregoing and for other good and valuable consideration, the receipt and sufficiency of which the parties hereto hereby acknowledge, it is agreed as follows:

1. Within 60 days of the date of this Agreement, PLA will apply to City for an amendment to its existing mining permit which, if approved by City, will eliminate SS9, provide for the grading of athletic fields, provide for the grading of a parking area adjacent to the fields, provide for the grading of a new dedicated right-of-way for the extension of 154th Street through SS9, and provide end use grades complimentary to the end use grades on PLA's abutting property.
2. At the same time, ISD will request that the City amend ISD's Conditional Use Permit, and December 2001 Development Agreement as necessary, that allowed

for the construction of the high school so as to allow for the performance of the Work by PLA as described in paragraphs one and four herein.

3. PLA shall provide a Tree Replacement Concept Plan along with its application for an Amendment to its mining permit. The Tree Replacement Concept Plan will generally identify the number of replacement trees, the types of replacement trees and a current cost estimate for the tree replacement. At the time PLA actually applies to the City for the necessary approvals to develop its land, PLA will provide to the City, for its review and approval, a formal Tree Replacement Plan required as a result of removal of trees from the SS9 area. The Replacement Plan shall comply with all pertinent City Ordinances. Prior to submitting the Tree Replacement Plan to the City, PLA will submit the Tree Replacement Plan to ISD for its review. ISD can request that the City allow some of the replacement trees to be planted at specific locations on the ISD property. ISD will not be responsible for any of the costs of the Tree Replacement Plan, and PLA shall hold ISD harmless from said costs.
4. ISD shall provide its athletic field design and specification requirements promptly to PLA. If the design and specification requirements are not acceptable to PLA, PLA may invoke the contingency in paragraph 13 hereof. PLA in conjunction with its mining permit amendment application shall be responsible for the preparation of grading plans and specifications that properly reflect and incorporate ISD's design and specification requirements. The plans and specifications shall, at a minimum, include final grades, top soil requirements and placement, seeding requirements, parking areas and the location and design of the extension of 154th Street consistent with City requirements. The final plans and specifications shall be submitted to ISD for written approval prior to submission to City. If the final plans and specifications are not acceptable to ISD, ISD may invoke the contingency in paragraph 13 hereof. If City approves the amended mining permit, PLA shall proceed to undertake the Work described in this paragraph in accordance with the approved plans. PLA shall also apply Class V materials to the extension of 154th Street and to the parking area for usage of the recreational fields. The Class V materials shall be suitable in characteristics and depth to serve as a subbase which meets City design standards for City roads. No excess topsoil, sand, aggregate, trees or other debris or materials shall be left on ISD property upon completion of the Work.
5. PLA will start the Work at the beginning of the construction season and will endeavor to complete the Work during that construction season. In the event that circumstances beyond PLA's control, such as weather, prevent completion during that construction season, PLA will finish it as soon as possible in the next construction season. In any event, the Work will be completed by the end of the construction season of 2015. However, PLA may request an extension of the deadline for completion of the Work. In the event of such a request, ISD retains the discretion to grant the extension, or not. If an extension is granted, PLA shall be responsible for any increased costs of completing the work described herein.

For purposes of this paragraph, a construction season is defined to commence April 1 and end October 1.

6. Performance of the Work by PLA shall be subject to the following terms, conditions and requirements
 - a. PLA shall perform the Work using necessary skill and attention, in a good workmanlike manner, and in a manner consistent with the approved plans and specifications and with pertinent federal, state, or local regulations and ordinances.
 - b. PLA shall pay for all labor, materials, equipment, tools, utilities and other facilities or services necessary to complete the Work.
 - c. If there are any taxes due and payable arising out of PLA's performance of the Work, PLA will pay those taxes
 - d. PLA shall be responsible to ISD for acts and omissions of PLA's employees, and its agents and employees, and other persons or entities performing the Work. To the extent subcontractors are used, PLA shall comply with the Minnesota Prompt Payment to Subcontractors law.
 - e. PLA shall be responsible for and shall take precautions for safety of, and shall provide reasonable protection to prevent damage or injury to employees performing the Work, to the Work itself and to other ISD property adjacent to the site of the Work.
 - f. Upon completion of the Work, ISD shall review and approve the Work, in writing, as consistent with the approved plans which approval will not be unreasonably withheld. If the Work is not consistent with the approved plans, PLA shall proceed diligently to correct the Work.
 - g. PLA shall purchase from and maintain in a company or companies lawfully authorized to do business in Minnesota such insurance as will protect PLA and ISD from claims set forth below which may arise out of or result from PLA's performance of the Work and for which PLA may be legally liable:
 - i. claims under workers' compensation, disability benefit and other similar employee benefit acts which are applicable to the work to be performed;
 - ii. claims for damages because of bodily injury, occupational sickness or disease, or death of PLA's employees;
 - iii. claims for damages because of bodily injury, sickness or disease, or death of any person other than PLA's employees;
 - iv. claims for damages insured by usual personal injury liability coverage;

- v. claims for damages, other than to the work itself, because of injury to or destruction of tangible property, including loss of use resulting therefrom;
- vi. claims for damages because of bodily injury, death of a person or property damage arising out of ownership, maintenance or use of a motor vehicle; and
- vii. claims for bodily injury or property damage arising out of completed operations.

The insurance shall be written for not less than the tort limits of liability specified in Minn. Stat. Ch. 466. Coverages, whether written on an occurrence or claims-made basis, shall be maintained without interruption from date of commencement of the Work until date of written acceptance of the Work.

Certificates of insurance acceptable to ISD shall be filed with ISD prior to commencement of the Work naming ISD as an additional named insured. These certificates and the insurance policies shall contain a provision that coverages afforded under the policies will not be canceled or allowed to expire until at least 30 days' prior written notice has been given to ISD.

- h. PLA shall defend, indemnify and hold harmless ISD and its consultants, agents, officers and employees from any and all claims, damages, losses and expenses, including but not limited to attorney's fees, arising out of or related in any way to performance of the Work, except claims that ISD, its agents, officers and employees were negligent.
 - i. PLA shall take such action as is necessary so that the City adds ISD as a benefitted party to the performance bond currently held by the City to secure the completion of end use grading in conformance with the End Use Grading Plan submitted to the City as part of PLA's mining permit. ISD shall be added as a benefitted party prior to the initiation of the Work. If ISD is not added as a benefitted party on terms acceptable to ISD, then PLA shall post a letter of credit in the amount of the reasonable estimated value of the Work guaranteeing completion of the Work. The letter of credit shall be on terms acceptable to ISD. The letter of credit shall be in place prior to the initiation of the Work.
7. PLA shall be solely entitled to the benefit of any proceeds from the harvesting of trees, any commercial grade aggregate removed and the removal and use of any excess topsoil, sand, clay or other granular material realized that results from PLA performing the Work in accordance with the approved Grading Permit.

8. At such time as PLA undertakes the development of its property and in accordance with a Development Plan approved by the City, PLA shall undertake the approved Tree Replacement Plan, unless the City dictates otherwise.
9. At such time as PLA begins development of its property abutting ISD, PLA shall take such action as is necessary to provide for the completion of the extension of 154th Street dedicated as part of the approved amended mining permit at no cost to ISD. For purposes of this paragraph, "complete" means installing the bituminous surface and other incomplete portions of the road to City standards and requirements. If there are storm water retention/detention ponds required as part of the construction of the extension of 154th Street, PLA will excavate the ponds but will have no obligations to complete the ponds.
10. By this Agreement, PLA is not responsible for the cost of bituminous surfacing of the extension of 154th Street. However, to the extent the City seeks to assess ISD for any costs related to the completion of 154th Street and associated ponding, PLA shall pay such costs.
11. This Agreement shall be binding upon any successors or assigns of PLA and PLA will require the written acknowledgement and acceptance by any successor or assign of the obligations imposed upon PLA by this Agreement.
12. This Agreement shall automatically terminate upon any of the following events:
 - a. City's failure to approve PLA's amended mining permit application as described in paragraph one hereof.
 - b. City's failure to approve ISD's amended land use applications as described in paragraph two hereof.
13. This Agreement is contingent on the following:
 - a. City's approval of PLA's amended mining permit application, as described in paragraph one hereof, on terms acceptable to both PLA and ISD; and
 - b. City's approval of ISD's amended land use applications, as described in paragraph two hereof, on terms acceptable to both ISD and PLA; and
 - c. PLA's approval of the athletic field design and specification requirements in paragraph four hereof; and
 - d. ISD's approval of the final plans and specifications as described in paragraph four hereof; and
 - e. PLA providing for the security described in paragraph 6(i) hereof.

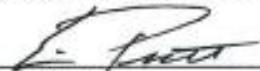
The approvals described in paragraphs 13(a)-(d) above shall be deemed acceptable to or accepted by a party unless that party gives written notice of

unacceptability to the other party within 14 days of approval of the subject application, or delivery to the design and specification requirements or final plans, as the case may be.

14. This Agreement shall be construed according to the laws of Minnesota.
15. This Instrument is intended as the full and final expression of the parties' agreement. No prior or contemporaneous discussions or dealings are relevant to supplement or explain terms of this Agreement. This Agreement can only be modified in writing signed by both parties.
16. The invalidity or unenforceability of any particular provision of this Agreement shall not affect the validity or enforceability of all remaining provisions.
17. The parties agree that this Agreement is the product of mutual drafting, and that the general rule of contract construction that documents are construed against the drafter shall not apply to interpretation of this Agreement.

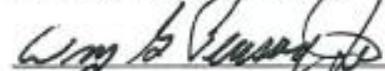
Acknowledged and agreed to this 11th day of April, 2011 by:

Independent School District No. 719



By: Eric Pratt
Its: Board Chair

PLA Development, LLC



By: 
Its: 



VIA EMAIL

To: Angie Perera, City of Savage Senior Planner

From: Joe Hale, SWCD Permitting Specialist

Cc: Joni Giese, PLSLWD Administrator

Date: April 1, 2024

Subject: **Big Sky Estates Sketch Plan- PIDs: 269310183, 263910432, 269310220, 269310230, 265280360, and 265280370**

Thank you for the opportunity to provide review comments on the Sketch Plan of Big Sky Estates in the City of Savage. Prior Lake-Spring Lake Watershed District (PLSLWD) staff have reviewed the application materials provided to the District by the City and offer the following comments:

Rule D Stormwater Management – Comments will be provided upon receipt of construction and stormwater management plans.

Rule E Erosion & Sediment Control – Comments will be provided upon receipt of an erosion and sediment control plan.

Rule J Buffer Strips – This rule is applicable if there are any onsite wetlands.

BIG SKY ESTATES SKETCH PLAN – ADDITIONAL DETAILS

- Big Sky Estates 4th Addition consisting of 33 lots will be proceeding this Fall. A preliminary plat will be submitted shortly by Key Land, the developer of Phases 2 and 3. The 4th Addition plat will not extend beyond the already platted parcels within the property.
- Big Sky Estates 4th Addition will include an oversized outlot that will encompass the expanded land required for the existing lift station. An additional single family lot may be available if the lift station requirements can accommodate a smaller footprint. Met Council is working on the engineering for the lift station.
- The tunnel, scale house and redi-mix plant will continue to be used in the mining operation through the 2026 mining season. The mining lease for the western portions of the property has been extended through December 31, 2028 with the possibility that reclamation work required of the miner can occur in 2029.
- PLA will continue to reclaim the unused portions of the property while mining continues (Phases 5A and 5B). When the mining operation leaves the current production area, development of Phases 5A, 5B and 6 will commence. PLA understands that Phase 5A will require the completion of the roundabout.
- The Phasing is set to accommodate the ability to provide sanitary sewer. No sanitary sewer piping will be included in 157th Street. The sanitary sewer will run on the north/south street in Phase 6. This will then serve Phase 7 and future Phases in the northerly and westerly parts of the property.
- The park can be designed to have a cul de seq and parking area. Alternatively, an extension of the road can be constructed that would connect to the existing curb cut for the Country Drive development to provide direct access to the park from Cty. 44. As the City will own the property adjacent to the Country Drive development, future connection to the Big Sky Estates sanitary sewer system is feasible. When mining is completed on the property South of Cty. 44, the existing tunnel that runs underneath Cty. 44 can be used to connect that property to the park.
- Because the reclamation process requires accessing all of the available fill material within the property to establish the new grades, PLA believes that there will be sufficient areas where the remaining SS-9 trees can be planted in addition to the developed lots. PLA will consider a cash in lieu of tree planting option.

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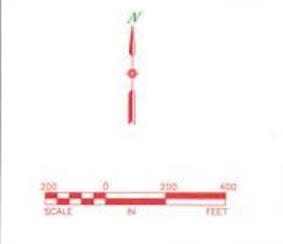
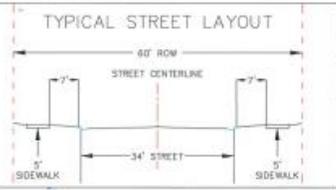
MAY 08 2024

BUILDING INSPECTIONS

-  PROPERTY LINE
-  SETBACK LINE
-  STREET CENTERLINE
-  CURB AND CUTTER
-  PHASING BOUNDARIES
-  WETLAND BUFFER AND MONUMENT POSTS
-  CATE'S LAKE 1000' OVERLAY DISTRICT
-  WET POND AREA
-  INFILTRATION AREA
-  PARK AREA
-  PROPOSED TREE MITIGATION AREA (IN ADDITION TO 2 TREES PER LOT)
-  HABITAT/TREE PRESERVATION AREAS

LAND AREA SUMMARY

PREVIOUSLY DEVELOPED AREA PHASES 1-3	= 89.5 AC
CURRENT DEVELOPMENT AREA PHASE 4	= 16.6 AC
FUTURE DEVELOPMENT AREA PHASES 5A-10	= 135.9 AC

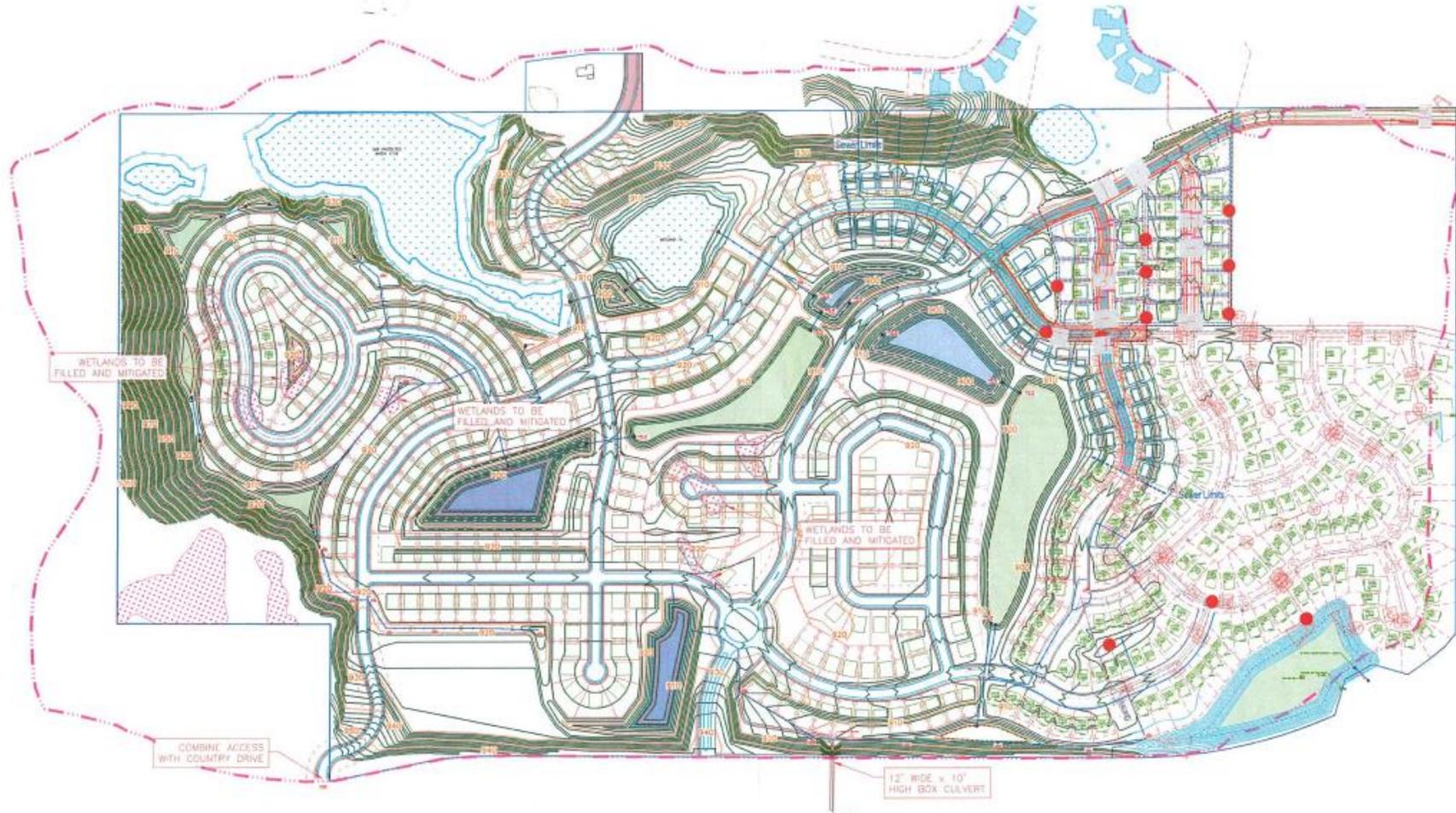


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BUILDING INSPECTIONS

BIG SKY ADDITION SKETCH PLAN DRAFT

MAY 2024





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APR 30 2024

BUILDING INSPECTIONS

Master Plan Grades

April 2024



CIVIL AND ENVIRONMENTAL
ENGINEERING SERVICES



Meeting Date: May 28, 2024
Agenda Item Number: 4B
Originating Department: Public Works
Prepared by: Greg Boatman, Public Works and Parks and Recreation Director
Public Hearing: []
Consent Item: []
General Business: [X]

Action Requested:

Recommend approval of plans and authorizing advertisement for bids for the new park on Hampshire Ave, City Project 21-54.

Guiding Principle:

"Savage will preserve and enhance our natural amenities and maximize recreational opportunities for our community."

Background:

The City is developing a new neighborhood park on the 2.17 acre property on the southeast corner of 156th and Hampshire Avenue. The new park will have amenities including playground equipment, a picnic shelter, walking path and open green space. While several existing trees will need to be removed due to disease or poor condition, unique to this site are several existing apple trees that will be preserved and cared for as an additional amenity for this park. A neighborhood meeting was held on May 8, 2024, where six residents were in attendance. Residents were informed of plan and staff was available to answer questions.

Enclosed in the packet is a copy of the plans for the park. This park project is funded through fees collected during developments from throughout the city called Park Dedication Fees. No assessments of properties are needed to fund this project.

Budget Information/Fiscal Impact:

The following is an estimate of the project costs:

Table with 2 columns: Description and Cost. Rows include Estimated Construction Cost (Site Work) \$450,000, Construction Contingencies (10%) \$50,000, Total Estimated Construction Cost \$500,000, Estimated Playground Equipment Cost \$120,000, Estimated Picnic Shelter Cost \$90,000, and Total Estimated Project Cost \$710,000.

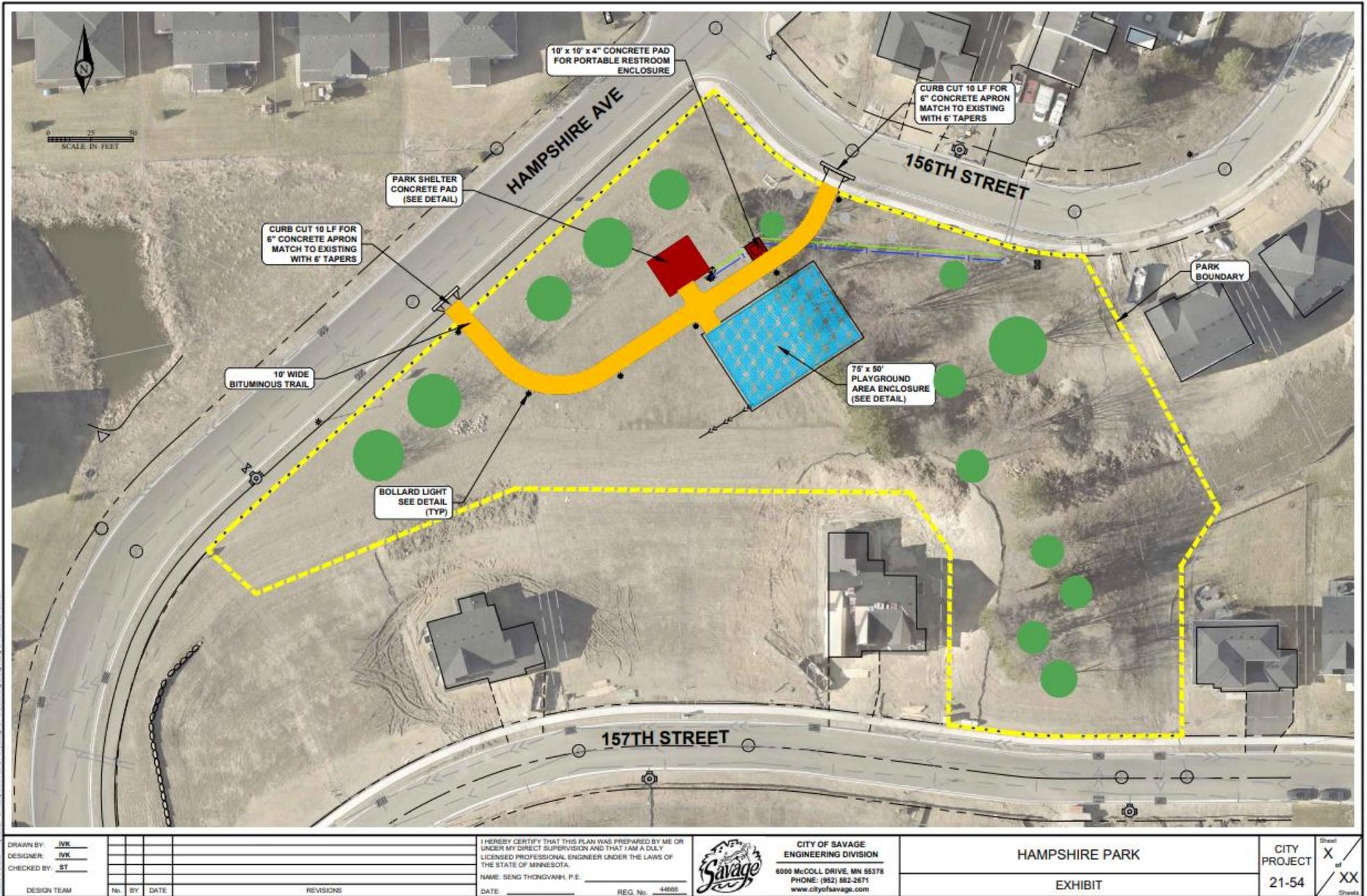
The 2023-2032 Capital Improvement Program includes \$500,000 for the site construction, \$120,000 for the playground equipment program and \$90,000 for the picnic shelter program with the funding sources being the Park Dedication and Park Improvement Funds.

Alternatives:

1. Recommend approval of plans and authorizing advertisement for bids for the new park on Hampshire Ave, City Project 21-54.
2. Do not recommend.
3. Table the action pending further information from staff.

Action/Recommendation:

Staff recommends Alternative No. 1.



DESIGN TEAM	No.	BY	DATE	REVISIONS

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
 NAME: SENG THONGVANH, P.E.
 DATE: _____ REG. No. 44995

Savage
 CITY OF SAVAGE
 ENGINEERING DIVISION
 6000 McCOLL DRIVE, MN 55378
 PHONE: (952) 882-2671
 www.cityofsavage.com

HAMPSHIRE PARK
 EXHIBIT

CITY PROJECT
 21-54

Sheet X of XX
 Sheets

SYMBOL LEGEND

EXISTING	PROPOSED	DESCRIPTION
		FIRE HYDRANT
		GATE VALVE
		REDUCER
		STORM MANHOLE (STORM / STREET SHEETS)
		SANITARY MANHOLE (SANITARY / WATER SHEETS)
		CATCH BASIN / CATCH BASIN MANHOLE
		FLARED END SECTION
		BEEHIVE CATCH BASIN
		DECIDUOUS TREE
		CONIFEROUS TREE
		WATER CURB STOP
		SEWER RISER/CLEANOUT
		SOIL BORING
		STREET SIGN
		LIGHT POLE
		UTILITY POLE
		UTILITY BOX
		WELL
		MAILBOX

LINE TYPE LEGEND

LINE TYPE	DESCRIPTION
	EXISTING WATERMAIN
	PROPOSED WATERMAIN
	EXISTING SANITARY SEWER
	PROPOSED SANITARY SEWER
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	PROPOSED DRAIN TILE
	TREE LINE
	SILT FENCE
	PHONE LINE
	UNDERGROUND POWER LINE
	FIBER OPTIC LINE
	GAS LINE
	CABLE TV LINE
	OVERHEAD LINE
	FENCE LINE(S)
	WETLAND BOUNDARY

HAMPSHIRE AVE PARK CITY PROJECT No. 21-54

EXCAVATION, GRADING, SANITARY & WATER SERVICES, STORM SEWER, ELECTRICAL SERVICES, PLAYGROUND ENCLOSURE, SHELTER SLAB, AGGREGATE BASE, BITUMINOUS TRAIL AND TURF ESTABLISHMENT

**CITY OF SAVAGE
ENGINEERING DIVISION**

6000 McCOLL DRIVE, MN 55378
PHONE: (952) 882-2671
www.cityofsavage.com

GOVERNING SPECIFICATIONS

THE CURRENT CITY OF SAVAGE STANDARD SPECIFICATIONS AND DETAIL PLATES IN ADDITION TO THE 2020 EDITION OF MINNESOTA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR CONSTRUCTION" AS AMENDED BY SUPPLEMENTAL SPECIFICATIONS AND CEAM SPECIFICATION SHALL GOVERN EXCEPT AS MODIFIED BY THE CONTRACTED SPECIFICATIONS FOR THIS PROJECT.

NOTE: ALL EROSION & SEDIMENT CONTROL MEASURES AND BMP'S SHALL BE PLACED AT LOCATIONS AS PER EROSION & SEDIMENT CONTROL PLAN AND AS DIRECTED BY THE ENGINEER IN THE FIELD.

NOTE: EXACT LOCATION OF UNDERGROUND UTILITIES SUCH AS GAS, TELEPHONE, FIBER OPTIC, ELECTRIC, CABLE TV AND PIPE LINES ARE UNKNOWN. THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT (651) 454-0002 BEFORE COMMENCING EXCAVATION.

NOTE: ALL TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE MOST CURRENT MMUTCD, INCLUDING FIELD MANUAL FOR TEMPORARY TRAFFIC CONTROL ZONE LAYOUTS.

SHEET INDEX	
1	COVER SHEET / SITE PLAN
2-4	M.P.C.A. SWPPP - NARRATIVE AND MAPS
5	EROSION & SEDIMENT CONTROL PLAN
6	REMOVAL PLAN
7	UTILITY PLAN
8	OVERALL GRADING AND SITE PLAN
9	PARK SHELTER CONCRETE SLAB AND FOOTING DETAILS
10	PLAYGROUND ENCLOSURE PLAN AND DETAIL
11	TURF ESTABLISHMENT PLAN

DRAWN BY: IWK

DESIGNER: IWK

CHECKED BY: ST

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

NAME: SENG THONGVANH, P.E.

DATE: _____ REG. No. 44666

DESIGN TEAM	No.	BY	DATE	REVISED SHEETS	No.	BY	DATE	REVISED SHEETS	No.	BY	DATE	REVISED SHEETS	No.	BY	DATE	REVISED SHEETS

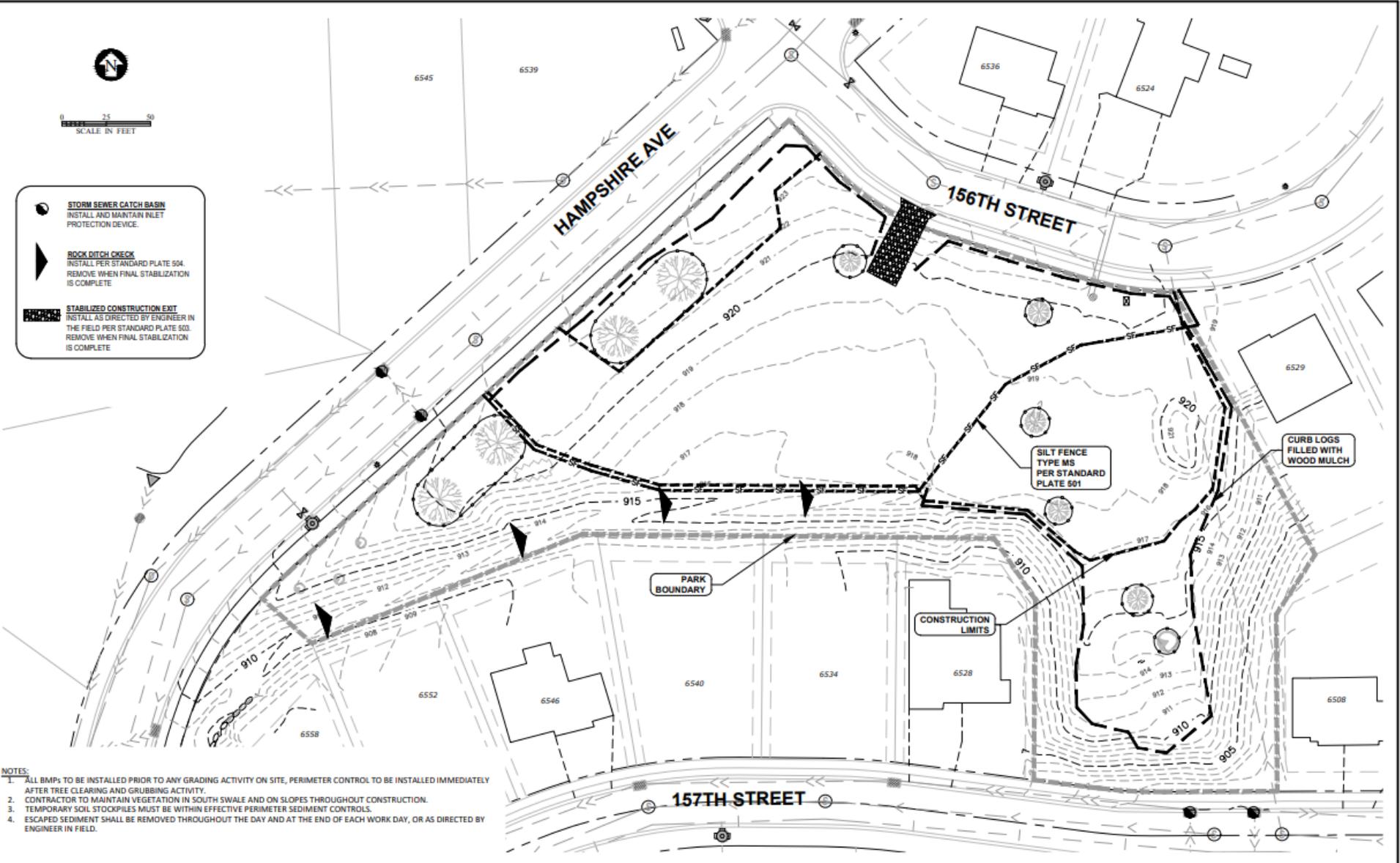
Sheet 1 of 11

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0 25 50
SCALE IN FEET

-  **STORM SEWER CATCH BASIN**
INSTALL AND MAINTAIN INLET PROTECTION DEVICE.
-  **ROCK DITCH CHECK**
INSTALL PER STANDARD PLATE 504. REMOVE WHEN FINAL STABILIZATION IS COMPLETE.
-  **STABILIZED CONSTRUCTION EXIT**
INSTALL AS DIRECTED BY ENGINEER IN THE FIELD PER STANDARD PLATE 503. REMOVE WHEN FINAL STABILIZATION IS COMPLETE.



- NOTES:**
1. ALL BMPs TO BE INSTALLED PRIOR TO ANY GRADING ACTIVITY ON SITE, PERIMETER CONTROL TO BE INSTALLED IMMEDIATELY AFTER TREE CLEARING AND GRUBBING ACTIVITY.
 2. CONTRACTOR TO MAINTAIN VEGETATION IN SOUTH SWALE AND ON SLOPES THROUGHOUT CONSTRUCTION.
 3. TEMPORARY SOIL STOCKPILES MUST BE WITHIN EFFECTIVE PERIMETER SEDIMENT CONTROLS.
 4. ESCAPED SEDIMENT SHALL BE REMOVED THROUGHOUT THE DAY AND AT THE END OF EACH WORK DAY, OR AS DIRECTED BY ENGINEER IN FIELD.

DRAWN BY: JWK				
DESIGNER: JWK				
CHECKED BY: ST				
DESIGN TEAM	No.	BY	DATE	REVISIONS

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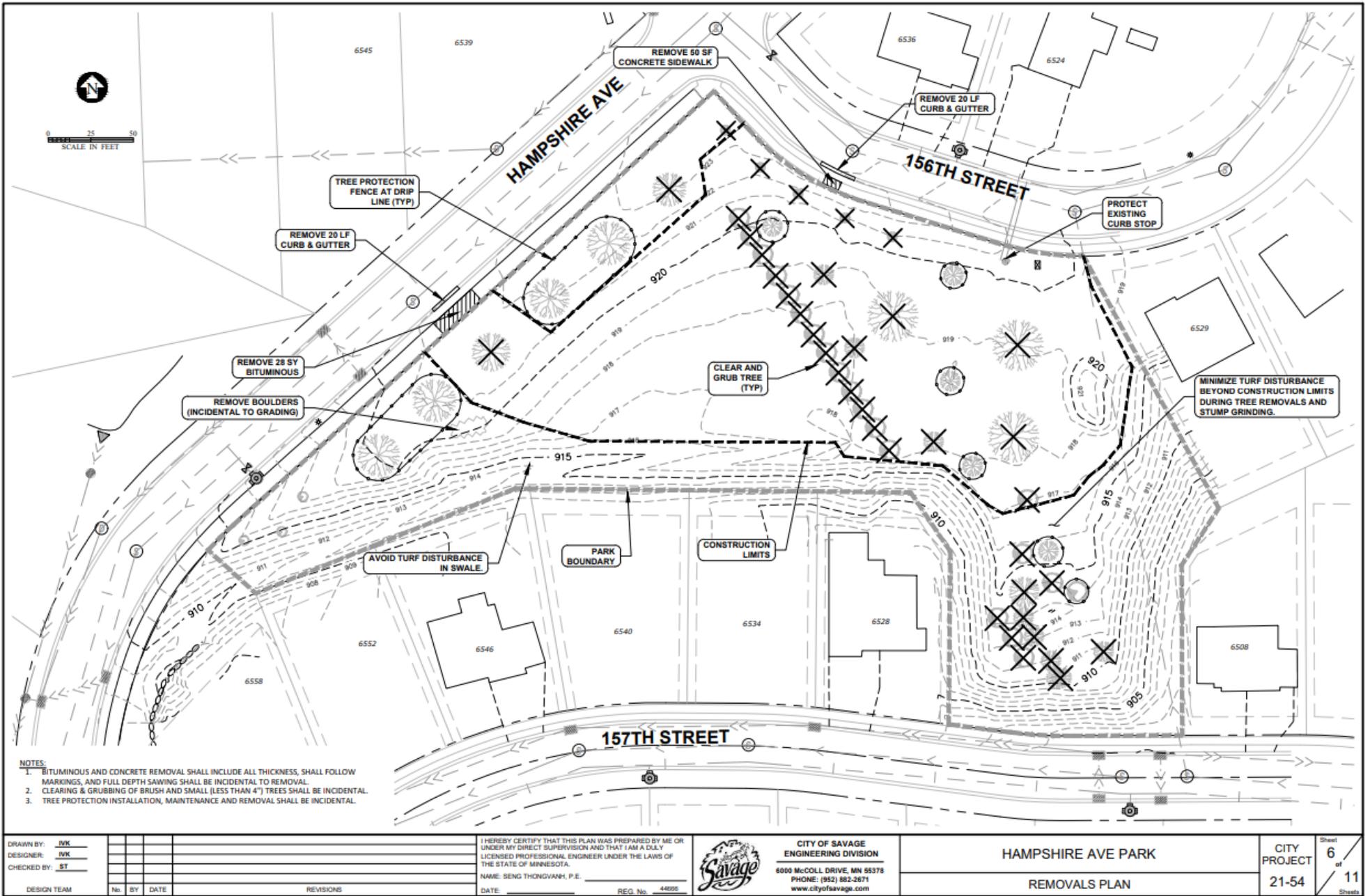
HAMPSHIRE AVE PARK
EROSION AND SEDIMENT CONTROL PLAN

CITY PROJECT
21-54

Sheet **5** of **11**
Sheets

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- NOTES:**
1. BITUMINOUS AND CONCRETE REMOVAL SHALL INCLUDE ALL THICKNESS, SHALL FOLLOW MARKINGS, AND FULL DEPTH SAWING SHALL BE INCIDENTAL TO REMOVAL.
 2. CLEARING & GRUBBING OF BRUSH AND SMALL (LESS THAN 4") TREES SHALL BE INCIDENTAL.
 3. TREE PROTECTION INSTALLATION, MAINTENANCE AND REMOVAL SHALL BE INCIDENTAL.

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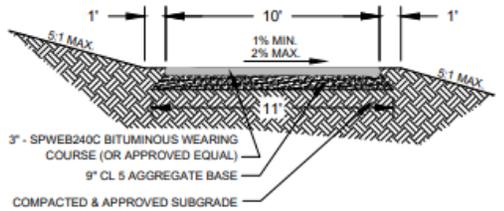


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HAMPSHIRE AVE PARK
REMOVALS PLAN

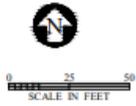
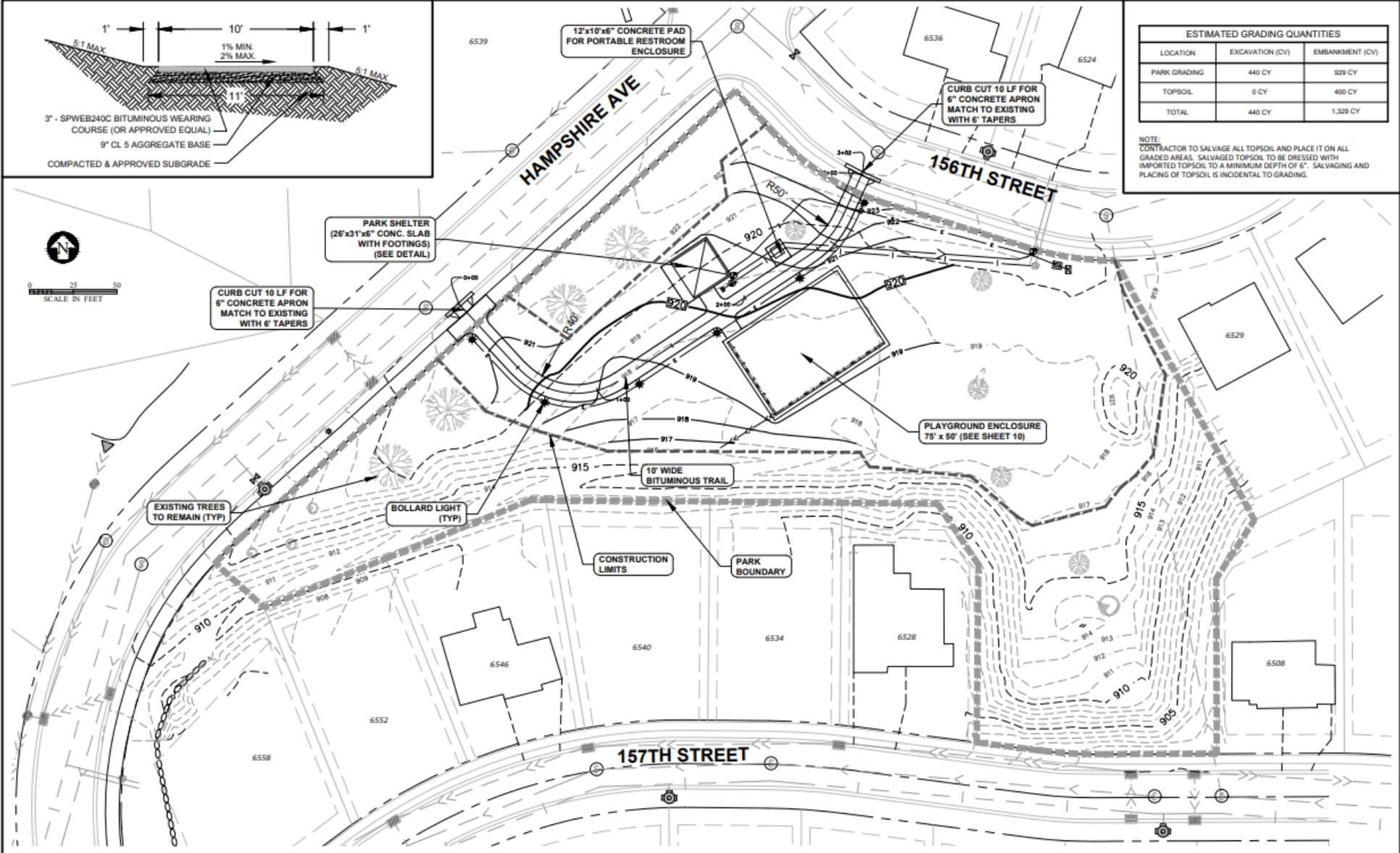
CITY PROJECT
 21-54

Sheet 6 of 11
 Sheets



ESTIMATED GRADING QUANTITIES		
LOCATION	EXCAVATION (CY)	EMBANKMENT (CY)
PARK GRADING	440 CY	529 CY
TOPSOIL	0 CY	400 CY
TOTAL	440 CY	1,329 CY

NOTE:
CONTRACTOR TO SALVAGE ALL TOPSOIL AND PLACE IT ON ALL GRADED AREAS. SALVAGED TOPSOIL TO BE DRESSED WITH IMPORTED TOPSOIL TO A MINIMUM DEPTH OF 6". SALVAGING AND PLACING OF TOPSOIL IS INCIDENTAL TO GRADING.



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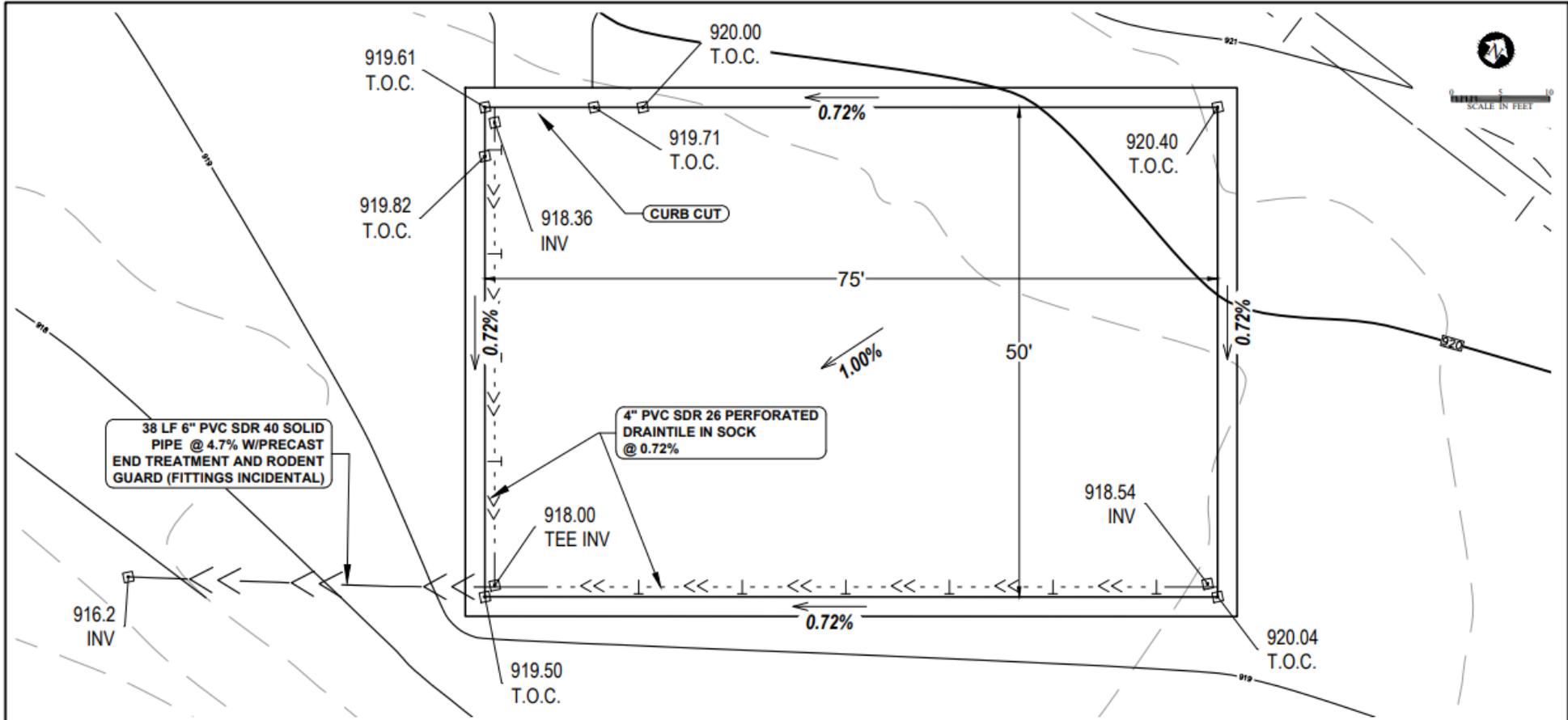


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HAMPSHIRE AVE PARK
 OVERALL GRADING AND SITE PLAN

CITY PROJECT 21-54
 Sheet 8 of 11
 Sheets

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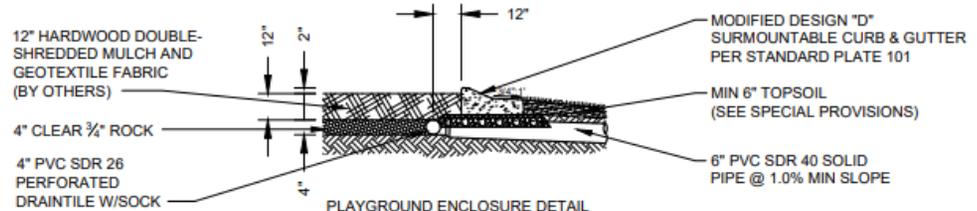


38 LF 6" PVC SDR 40 SOLID PIPE @ 4.7% W/PRECAST END TREATMENT AND RODENT GUARD (FITTINGS INCIDENTAL)

4" PVC SDR 26 PERFORATED DRAINTILE IN SOCK @ 0.72%

BASIS FOR ESTIMATED QUANTITIES	
AGGREGATE BASE	140 LB / CF COMPACTED DENSITY
BITUMINOUS WEAR COURSE	115 LB / SY / DEPTH (IN INCHES)
3" MINUS AGGREGATE	140 LB / CF COMPACTED DENSITY
COMMON EXCAVATION	AVERAGE VOLUME MEASURED FROM THE BOTTOM OF TOPSOIL OR AGGREGATE BASE
COMMON EMBANKMENT	AVERAGE VOLUME MEASURED FROM THE BOTTOM OF TOPSOIL OR AGGREGATE BASE (1.3 SHRINK COEFFICIENT INCLUDED)
SUBGRADE EXCAVATION	VOLUME OF UNSUITABLE MATERIAL BELOW AGGREGATE BASE

- NOTES:**
1. MINIMUM 6" OF TOPSOIL OVER ALL NON GRAVEL OR UNPAVED SURFACE REQUIRED. 2" TOPSOIL DRESSING OVER ALL DISTURBED TURF AREAS
 2. CONTRACTOR TO SALVAGE ALL TOPSOIL ON SITE. MOVING, STOCKPILING AND PLACING OF SALVAGED TOPSOIL IS INCIDENTAL.
 3. RECYCLED AGGREGATE SHALL BE USED FOR TEMPORARY ROAD ONLY. ALL EXCESS MATERIAL SHALL BE HAULED OFF SITE.
 4. TOTAL VOLUME IS DEFINED AS DIFFERENCE BETWEEN PROPOSED AND EXISTING CONTOURS INCLUDING ALL EXCAVATION VOLUMES MINUS TOPSOIL
 5. CONTOURS DO NOT REPRESENT TOP OF CURB (T.O.C.) ELEVATIONS AT PLAYGROUND ENCLOSURE.



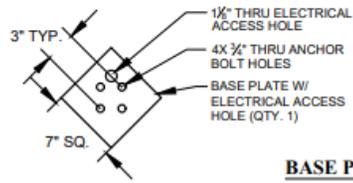
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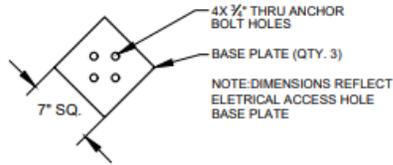
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HAMPSHIRE AVE PARK
PLAYGROUND ENCLOSURE

CITY PROJECT 21-54
 Sheet 9 of 11
 11 Sheets

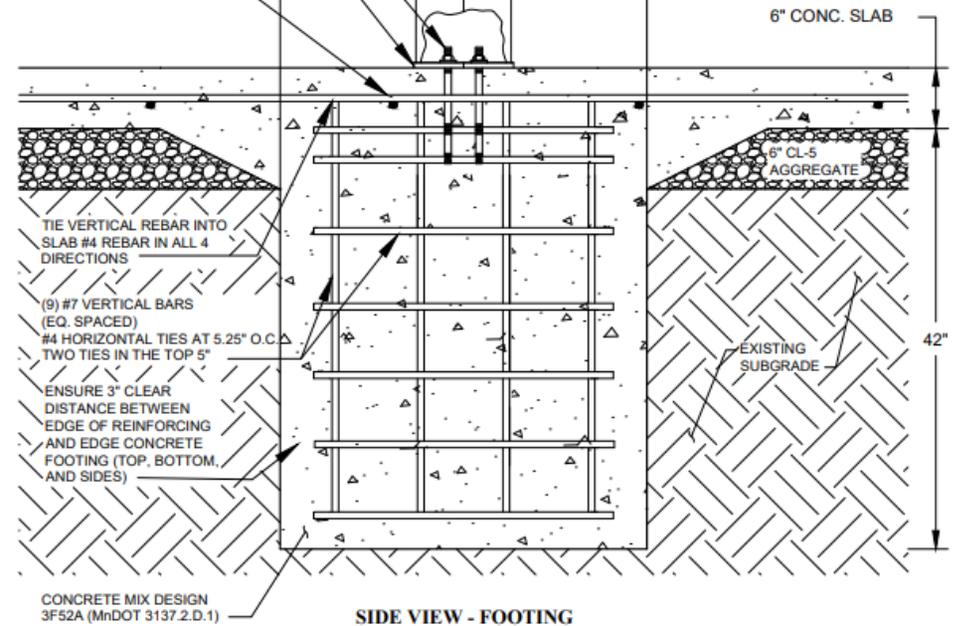


BASE PLATE



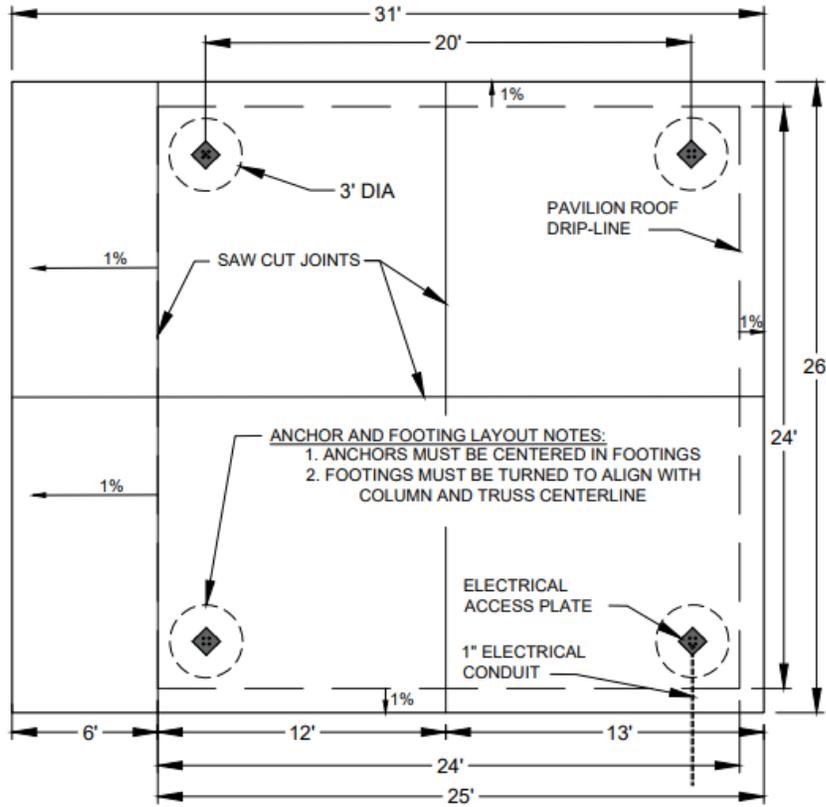
COLUMN (LOCATED AT CENTER OF FOOTING)
 1/2" DIA. X 10" ANCHOR BOLTS (4 PER PLATE). ENSURE 1-1/2" EXPOSED FROM TOP OF FOOTING

BASE PLATE
 #4 EPOXY COATED TIED REBAR (2' O.C.) LATITUDINAL AND LONGITUDINAL THROUGHOUT SLAB. 3" CLEAR DISTANCE BETWEEN REINFORCEMENT AND EDGE OF CONCRETE



SIDE VIEW - FOOTING

NOTE:
 STRUCTURE, ANCHOR BOLTS, AND CONNECTIONS COMPLETED BY OTHERS.



ANCHOR AND FOOTING LAYOUT NOTES:
 1. ANCHORS MUST BE CENTERED IN FOOTINGS
 2. FOOTINGS MUST BE TURNED TO ALIGN WITH COLUMN AND TRUSS CENTERLINE

NOTE:
 SLOPE CONCRETE SLAB 1% MIN FROM 24'x24' DRIPLINE

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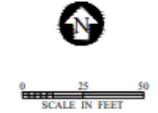


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HAMPSHIRE AVE PARK
 PARK SHELTER CONCRETE SLAB AND FOOTINGS

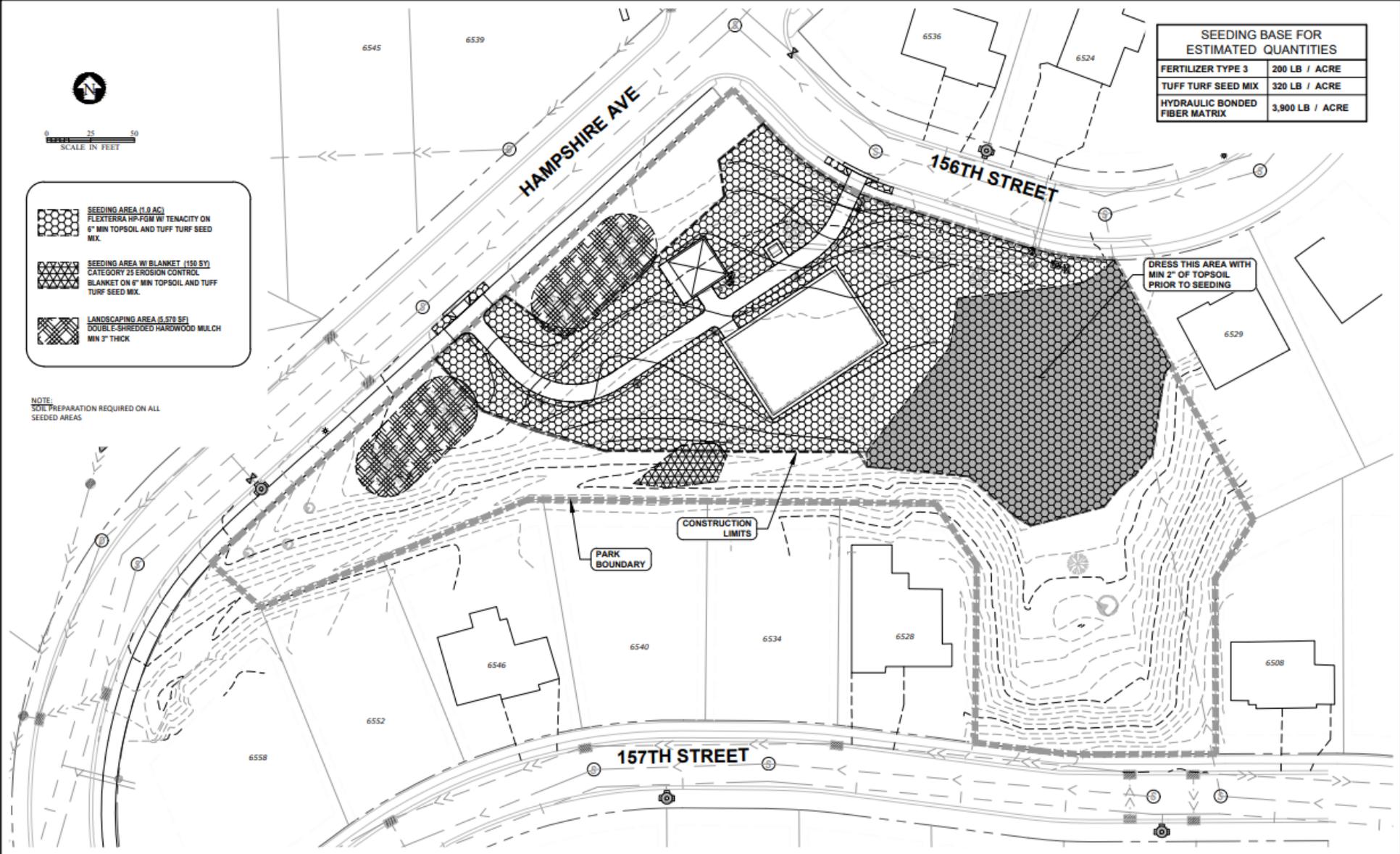
CITY PROJECT	21-54	Sheet 10 of 11
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SEEDING BASE FOR ESTIMATED QUANTITIES	
FERTILIZER TYPE 3	200 LB / ACRE
TUFF TURF SEED MIX	320 LB / ACRE
HYDRAULIC BONDED FIBER MATRIX	3,900 LB / ACRE



-  SEEDING AREA (1.0 AC)
FLEXITERRA HP-FGM W/ TENACITY ON 6" MIN TOPSOIL AND TUFF TURF SEED MIX.
-  SEEDING AREA W/ BLANKET (150 SY)
CATEGORY 23 EROSION CONTROL BLANKET ON 6" MIN TOPSOIL AND TUFF TURF SEED MIX.
-  LANDSCAPING AREA (0.575 SF)
DOUBLE-SHREDDED HARDWOOD MULCH MIN 3" THICK

NOTE:
SOIL PREPARATION REQUIRED ON ALL SEEDED AREAS



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HAMPSHIRE AVE PARK
 TURF ESTABLISHMENT PLAN

CITY PROJECT
 21-54
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